

Invitation for Bid
for
**Martin Luther King
Administrative Building
Apartment Renovation**



Serving The Community Since 1944

Issue Date: December 19, 2024
Bid Due Date: January 16, 2025 at 1 PM

Issued by:
Selena Skiba
Director of Finance
Troy Housing Authority
1 Eddy's Lane
Troy, New York 12180

Phone: (518) 273-3600 Ext.421
Facsimile: (518) 274-6633

INVITATION FOR BID
for
MARTIN LUTHER KING ADMINISTRATIVE BUILDING
APARTMENT RENOVATION

THA CONTACT PERSON	Selena Skiba, Director of Finance
HOW TO OBTAIN THE IFB	<p>Website: www.troyhousing.org</p> <p>E-mail: info@troyhousing.org</p> <p>In Person: Troy Housing Authority Administration Office One Eddy's Lane Troy, NY 12180</p>
MAILING ADDRESS FOR SUBMISSION OF BIDS AND LOCATION OF BID OPENING	<p>Submit 3 bound copies and 1 electronic copy (flash drive) of the Bid in a SEALED envelope to:</p> <p>Troy Housing Authority Selena Skiba, Director of Finance Administration Office One Eddy's Lane Troy, NY 12180</p>
DATE ISSUED	December 19, 2024
SITE VISIT	January 6, 2025 at 8:00 am
Q & A DEADLINE	January 8, 2025 at 12:00 pm
BID SUBMISSION DEADLINE & DATE & TIME OF BID OPENING	January 16, 2025 by 1:00 pm
ANTICIPATED AWARD DATE	January 30, 2025

The Troy Housing Authority of Troy, New York, invites sealed bids for the following contract:

Martin Luther King Administrative Building Apartment Renovation

There will be a Pre-Bid walk through for this project on **January 6th, 2025 8:00 a.m.** Contractors to meet at the Martin Luther King Administrative Building, One Eddy's Lane, Troy, NY 12180.

The project is located in Troy, New York and work shall be in accordance of the specifications and drawings included in this IFB in Appendix A.

LEAD-BASE PAINT

All Contractors be aware of the use of Lead-Base Paint as per the CIAP Manual 7485.1, Rev.-4 9-5 (c).

Lead-Base Paint Prohibition. Any Contractor awarded a Contract for Modernization shall comply with 24 CFR Part 35, prohibiting the use of Lead-Base Paint.

As per HUD Handbook 7485.1, Rev. 4 9-5 (c). The use of Lead-Base Paint containing more than six-hundredths of one percentile of lead by weight in the total non-volatile contract of the paint is prohibited.

QUESTIONS

Prospective bidders with questions pertaining to the IFB must request so in writing prior to January 8, 2025 at 12:00 p.m. to selena.skiba@troyhousing.org. All questions will be compiled and answered in the form of an Addendum. All agencies on record with THA will receive a copy of the Addendum.

BID SUBMISSION

The Troy Housing Authority will receive sealed proposals (3 bound copies) for the Martin Luther King Administrative Building Apartment Renovation no later than **1:00PM, Thursday, January 16, 2025**. Bids should be forwarded to the attention of:

Troy Housing Authority
Administrative Offices
Attn: Selena Skiba, Director of Finance
One Eddy's Lane
Troy, NY 12180

ALL BIDS MUST BE CLEARLY LABELED: "BID for MLK Admin Building Apartment Renovation"

The Troy Housing Authority reserves the right to waive any informality in, or reject any and all bids without prejudice or explanation. The Troy Housing Authority can, at its sole discretion, divide the work between responsible bidders for the properties noted in the "Invitation to Bid" should it be deemed to do so in the Authority's best interest. The Troy Housing Authority is an Equal Opportunity Employer.

All expenses related to the submission of a bid are the sole responsibility of the Contractor.

BID OPENING TIME

Bids will be opened on **Thursday, January 16, 2025 at 1:00PM** at the Troy Housing Authority Administrative Office, One Eddy's Lane, Troy, New York 12180.

You are urged to mail your bid early. Late bids will not be accepted and will be returned unopened to the contractor. Do not rely on overnight delivery services since they may not make your delivery on time.

GENERAL CONDITIONS

UNBALANCED BIDS

The Troy Housing Authority reserves the right to reject any and all bids not deemed in the best interest of the Authority and to reject as informal such bids, as in the Authority's opinion, are incomplete, conditional, obscure, or which contain irregularities of any kind including unbalanced bids. By an unbalanced bid, it is meant that the amount bid for one or more separate items is substantially out of line with current market prices for the materials and/or work covered thereby.

MULTIPLE AWARD BIDS

Any and all awards resulting from this bid shall be final and shall be for the complete term of the contract. No rescinding of awards will be made because of a contractor error or inability to supply an item.

BID RESERVATIONS

Bids submitted shall remain in effect for **Sixty (60)** days past the date of bid opening.

CANCELLATION CLAUSE

The Authority reserves the right to cancel the contract at any time during the contract term by written thirty (30) day notice mailed to the address of the contractor.

INSURANCE REQUIREMENTS

Contractor shall procure and maintain insurance for protection from all claims arising out of Contractor's services, work, operations, and activities. Contractor must have adequate insurance coverage for all claims arising out of or in consequence of the acts and omissions of the Contractor, or any subcontractor of the Contractor, including but not limited to claims for damages for death, bodily injury, or property damage, of any kind or nature. The Troy Housing Authority (including its officers, agents, and employees) shall be named as Additional Insured on Contractor's policies of insurance. There shall be no material undisclosed policy exclusions or exceptions on the required insurance coverages.

Contractor will procure and maintain at its own expense:

- 1) Commercial general liability and contractual liability on an occurrence basis for all personal and bodily injuries and property damage, with minimum coverage limits of One Million Dollars (\$1,000,000) for each occurrence/Two Million Dollars (\$2,000,000) general aggregate per project/location.

- a) Liability insurance policies will not be accepted that:
 - i) Remove or restrict blanket contractual liability located in the “insured contract” definition (as stated in Section V, Number 9, Item f in the ISO CGL policy or equivalent) so as to limit coverage against claims that arise out of work; or
 - ii) Remove or modify the “insured contract” exception to the employer’s liability exclusion; or
 - iii) Do not cover the Additional Insured for claims involving injury to employees of the named insured or its subcontractors or their employees.
 - b) Contractor shall require that its subcontractors carry insurance with the same limits and provisions as provided herein. Contractor will maintain certificates of insurance for all subcontractors as part of the Contractor’s records.
- 2) Professional Liability/Errors & Omissions coverage of at least One Million Dollars (\$1,000,000) for each occurrence/Two Million Dollars (\$2,000,000) aggregate per project/location or claim.
 - 3) Workers compensation insurance as required by law, employer's liability insurance, and statutory disability benefits insurance as required by law.
 - 4) Comprehensive motor vehicle liability coverage on owned, hired, leased, or non-owned motor vehicles with coverage limits of not less than One Million Dollars (\$1,000,000) combined for each accident, for bodily injury, sickness, or disease sustained by any person, caused by accident, and arising out of the ownership, maintenance, or use of any motor vehicle, as well as for damage because of injury to or destruction of property, including the loss of use thereof, caused by accident and arising out of the ownership, maintenance, or use of any motor vehicle.
 - 5) Commercial umbrella insurance coverage with minimum coverage limit of Five Million Dollars (\$5,000,000).
 - 6) All Risk Property Coverage – Contractor shall secure, pay for at its sole cost and maintain whatever All Risk Property Coverage Insurance Contractor may deem necessary to protect Contractor against loss of owned or rental capital equipment and tools. The requirement to secure and maintain such insurance is solely for the benefit of the Contractor. Contractor’s failure to secure such insurance and/or to maintain adequate levels of coverage shall not obligate the Troy Housing Authority, its agents or employees, for any losses. Any such insurance policy shall include a waiver of subrogation clause as follows: “It is agreed that in no event shall this insurance company have any right to recover against the Troy Housing Authority and the Troy Housing Authority is to be held harmless by the Insured and this Insurance carrier.

Each and every policy of insurance required by this Agreement shall be in form and content satisfactory to the Troy Housing Authority, and shall provide:

- 1) *Additional Insured.* The Troy Housing Authority (including its officers, agents, and employees) shall be named Additional Insured including premises operations and completed operations on a primary and non-contributing basis for all policies and coverages, including but not limited to the umbrella insurance coverage. The Additional Insured shall be held harmless and indemnified from any and all claims arising out of or in consequence of the Contractor's services, work, operations, or activities under this Agreement or in any way arising out of or in consequence of the Contractor's acts or omissions.
- 2) *Per Project Aggregate.* The insurance policies shall cover premises operations and completed operations on a per project basis.
- 3) *Waiver of Subrogation.* As to every type and form of insurance coverage required from the Contractor, there shall be no right of subrogation against the Troy Housing Authority, its officers, agents, or employees. If any of Contractor's policies of insurance prohibit such a waiver of subrogation, Contractor shall secure the necessary authorization from its insurance carrier to make this waiver effective.
- 4) *Waiver of Indemnities.* The Contractor waives any right of action it and/or its insurance carrier might have against the Troy Housing Authority (including its officers, agents, or employees) to be indemnified for any type of loss that is required by this Agreement to be covered by a policy of insurance, whether or not such loss is insured.
- 5) The Certificate of Insurance shall be in form and content satisfactory to the Troy Housing Authority. All referenced forms shall be provided with the Certificate. Additional information, including without limitation complete policies, shall be provided upon request.
- 6) The insurance policies shall not be changed or cancelled until the expiration of thirty (30) days after written notice to the Troy Housing Authority.
- 7) The insurance policies shall be renewed upon expiration and continued in force unless the Troy Housing Authority is given thirty (30) days written notice to the contrary.

No services, work, operations, or activities shall be commenced under this Agreement until the Contractor has delivered to the Troy Housing Authority proof of issuance of all policies of insurance required by the Agreement to be procured.

Proof must be submitted within ten (10) working days after contract award.

If at any time, any of the insurance policies shall be or become unsatisfactory to the Troy Housing Authority, Contractor shall promptly obtain a satisfactory policy and submit proof of the same to the Troy Housing Authority for approval. Upon failure of Contractor to furnish, deliver, and maintain satisfactory insurance as provided above, this Agreement may, at the election of the Troy Housing Authority, be suspended, discontinued, or terminated. Failure of Contractor to procure and maintain any required insurance shall not relieve the Contractor from any liability under the Agreement, nor shall the insurance requirements be construed to conflict with the obligations of the Contractor concerning defense and indemnification.

In the event that any part of the services, work, operations, or activities described in this Agreement is performed by an approved subcontractor of the Contractor, all of the insurance

requirements of this Agreement shall be incorporated into the subcontract agreement with no additional exclusions or exceptions from coverage whatsoever. Subcontractor insurance requirements shall include but not be limited to the requirements for Workers' Compensation, Commercial General Liability, Umbrella Liability, and as applicable, Commercial Auto and/or Professional Liability. Contractor shall require that each and every subcontractor shall produce a Certificate of Insurance meeting all of the requirements of the Troy Housing Authority and documenting the required insurance coverages. A subcontractor's Certificate of Insurance in form acceptable to the Troy Housing Authority shall be provided to the Troy Housing Authority before that subcontractor may commence performance.

The carrying of insurance as required by this Agreement shall in no way relieve the Contractor, or its subcontractors, of any other responsibility or liability under this Agreement.

The Troy Housing Authority may approve a variance in writing from the insurance requirements herein for good and sufficient reason.

CONFLICT OF INTEREST

No director, officer, employee, agent, contractor, or subcontractor of the contractor shall be deemed to be an agent, servant, and/or employee of the Troy Housing Authority, past or present. The contractor shall not employ as a director, officer, employee, agent, contractor, or subcontractor, directly or indirectly in any capacity, any elected or appointed official of the Troy Housing Authority, the two school districts, or any member of their immediate family, past or present.

The contractors acknowledge and agree that all of its employees **must comply** with all applicable laws relating to this agreement, or the performance thereof, and that the refusal to supply such evidence and/or testimony shall be the cause for immediate termination of this agreement by the Troy Housing Authority

TERMINATION FOR CAUSE

The Troy Housing Authority reserves the right to terminate this contract at any time for cause. The violation of any provision or condition contained in this contract, or the refusal, failure, or inability to carry out any provisions of this contract shall constitute sufficient grounds to terminate this contract for cause. Should The Troy Housing Authority elect to terminate this contract for cause, Troy Housing Authority will notify the Contractor 10 days prior to the termination date and shall specify the cause for termination as well as the date the termination shall be effective. This termination notice will be issued via a written letter sent by certified U.S. mail. Immediate dismissals may be executed if deemed necessary by The Troy Housing Authority.

TERMINATION WITHOUT CAUSE

The Troy Housing Authority may terminate this contract without cause. Written notice of termination must be sent via certified U.S. mail no later than thirty (30) days prior to the termination date.

DEFINITIONS

"Contract" shall mean the contract executed by the Authority and the bidder, of which these General Conditions form a part.

The term “Authority” shall mean the Troy Housing Authority.

The terms “Authority” and “Contractor” mean the respective parties to the contract. Contractor is the bidder whose proposal is accepted and with whom a contract is signed.

The term “Contract” means the volume of information, which includes the Description of Work and Proposal Form and General Conditions.

SERVICES & MATERIALS

Except as otherwise specifically stated in the Contract, the Contractor shall provide and pay for all materials, labor, tools, equipment, transportation, superintendence, taxes legally collectible because of the work, and all other services and materials of every natural cause whatsoever necessary to perform the work covered under the Contract and deliver it complete in every respect within the specified time.

SUPERVISION

The Contractor shall personally supervise the work and have competent supervision at the work site at all times. Safety must be the Contractor’s prime concern at all times.

SUBCONTRACTS

The successful bidder shall not assign, sublet or dispose of this contract or any interest therein, or any part thereof, without first having obtained written approval of the Authority.

BUSINESS LICENSE

All bidders will be required to submit a copy of their business license (DBA), and an affidavit attesting under penalty of perjury to the accuracy of the information provided. Failure to provide or falsification of these documents may, at the sole and absolute discretion of the Authority, result in disqualification of the bidder.

COMPLIANCE

The Contractor agrees to comply with all laws, ordinances, rules, and regulations bearing on the conduct of work as specified.

PROTECTION OF WORK PROPERTY

The Contractor shall continuously maintain adequate protection of all his work and materials from damage or theft and shall protect the Authority’s property and all adjacent property from injury or loss arising in connection with activities under the Contract. The Contractor shall make good any such damage, injury, or loss, except such as may be directly due to errors in the Contract documents or such as may be caused by agents or employees of the Authority. The Contractor shall take, use, provide, and maintain all necessary precautions, safeguards, and protection to prevent accidents, or injury to persons or property on, about, or adjacent to the site of the work.

EQUAL EMPLOYMENT OPPORTUNITY

The Troy Housing Authority is an Equal Opportunity Employer. Troy-based Section 3 Contractors, Minority-owned Business Enterprises (MBE) and Women-owned Business Enterprises are encouraged to apply. A Minority Business Enterprise (MBE) is one, which is owned and controlled by at least fifty-one percent (51%) minority member(s). Minority group members are citizens of the United States who are Black, Hispanic, Asian Pacific Islanders,

American Indians, or Alaskan Natives. A Women Business Enterprise (WBE) is one that is at least fifty-one percent (51%) owned and controlled by a woman or women who are citizens of the United States. Section 3 are residents of public housing or a business that is owned by a Section 3 resident or employs Section 3 residents.

During the performance of the contract, the Contractor agrees to the following:

The Contractor shall not discriminate against any employee or applicant for employment because of race, color, religion, sex, national origin, or handicap.

The Contractor shall take affirmative action to ensure that applicants are employed, and that employees are treated during the employment without regard to their race, color, religion, sex, national origin, or handicap.

The Contractor shall, in all solicitations or advertisements for employees placed by or on behalf of the Contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, national origin, or handicap.

ADDITIONALLY REQUIRED SUBMISSIONS

Certification of Bidder and Non-Collusive Affidavit forms are to be submitted with the bids.

SEPARATION OF WORK

Although it is the intent of The Authority to award the contract to a single contractor, The Authority can, at its sole discretion, divide the work between successful bidders for the Federal and State developments, should it be deemed to do so in the Authority's best interest.

LABOR PROVISIONS, WAGE RATES

The Contractor agrees to abide by all applicable provisions of the New York State Labor Law.

BID PROPOSAL FORM

To Contractors,

1. GENERAL STATEMENT

- A.** Pursuant to your Advertisement for Bids for the: **Martin Luther King Administrative Building Apartment Renovation**
- B.** The Bidder acknowledges that he has not received nor relied upon any representations or warranties of any nature whatsoever from the Owner, its officers, employees, or agents and that this proposal is based solely on his own independent business judgment.
- C.** The Undersigned, as Bidder, declares that the names of the persons, company or parties interested in this bid as Principals, appear in the blank spaces hereinafter provided for such purpose; and that this bid is in all respects is fair and without collusion.
- D.** In case this bid shall be accepted by the Owner, the Undersigned, as Bidder, hereby agrees to execute a Contract with the Owner in conformity with the Invitation for Bid Documents.
- E.** In submitting this bid it is understood that the right is reserved by the Owner to reject any and all bids. It is agreed that this bid may not be withdrawn for a period of **60** days from the opening thereof.
- F.** It is understood that no conditions or qualifying statements have been added to this bid, or otherwise the bid may be declared irregular as being not responsive to the Advertisement for Bids.

LEGAL STATUS OF BIDDER

a. **CORPORATION** duly organized and doing business under the laws of the state of _____ for whom _____ bearing the official title of _____ whose signature is affixed to this bid, is duly authorized to execute Contracts.

b. **PARTNERSHIP** trading and doing business under the firm name of _____ all of the members of which, with addresses, are:

<u>NAME</u>	<u>ADDRESS</u>
_____	_____
_____	_____
_____	_____
_____	_____

c. **INDIVIDUAL**, whose signature is affixed to this Bid doing business under the firm name of: _____

2. **ADDENDA**

The Undersigned hereby acknowledges receipt of the following Addenda:

<u>ADDENDUM NO.</u>	<u>DATED</u>
_____	_____
_____	_____
_____	_____
_____	_____

3. **KNOWLEDGE OF LOCAL CONDITIONS AND CONTRACT DOCUMENTS**

The Undersigned has examined the location of the proposed work, the drawings, specifications, and other Contract Documents and is familiar with local conditions at the place where the work is to be performed.

4. **WORK PERFORMED DIRECTLY**

The Undersigned proposes to perform all work directly without Sub-Contractors.

5. **OWNERS RIGHTS RESERVED**

The Undersigned understands that the **Troy Housing Authority** reserves the right to reject any and all bids or to waive any formality or technicality in any bid, in the interest of the **Troy Housing Authority**.

6. The above Bid is hereby respectfully submitted:

COMPANY NAME: _____

BY: _____

TITLE: _____

BUSINESS ADDRESS: _____

CITY: _____ STATE: _____

ZIP: _____

DATE: _____

MAILING ADDRESS (If different from above): _____

CITY: _____ STATE: _____

ZIP: _____

INDEMNIFICATION – HOLD HARMLESS

The Contractor shall indemnify and hold harmless the Housing Authority and the architect and either their agents and employees from and against all claims, damages, losses, and expenses including attorneys' fees arising out of or resulting from the performance of the Work, provide that any such claim, damage, loss or expense (1) is attributed to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the Work itself) including the loss of use resulting therefrom, and (2) is caused in whole or in part by any deliberate or negligent acts or omission of the Contractor, any Subcontractor, anyone directly employed by any of them or anyone for whose acts any of them may be liable, regardless of whether or not it is caused in part by a party indemnified hereunder.

In any and all claims against the Housing Authority or the architect or any of either of their agents or employees by any employee of the Contractor, any subcontractor, anyone directly or indirectly employed by any of them or anyone or whose acts any of them may be liable, the indemnification obligation under this paragraph shall not be limited in anyway by any limitation on the amount or type of damages, compensation or benefits payable by or for the contractor or any subcontractor under worker's compensation acts, disability benefit acts or other employee benefits acts.

CONTRACTOR'S NAME (Signature)
(Signature)

TROY HOUSING AUTHORITY

PRINT NAME AND TITLE

PRINT NAME AND TITLE

DATE

DATE

NON-COLLUSIVE AFFIDAVIT

Non-Collusive Bidding Certification

By submission of this bid proposal, the Bidder certifies that:

(a.) this bid or proposal has been independently arrived at without collusion with any other Bidder or with any competitor or potential competitor, (b.) this bid or proposal has not been knowingly disclosed and will not be knowingly disclosed, prior to the opening of bids or proposals for this project, to any other Bidder, competitor or potential competitor, (c.) no attempt has been or will be made to induce any other person, partnership or corporation to submit or not to submit a bid or proposal, (d.) the person signing this bid or proposal certifies that he has fully informed himself regarding the accuracy of the statements contained in this certification, and under the penalties of perjury, affirms the truth thereof, such penalties being applicable to the Bidder as well as to the person signing in its behalf, (e.) that attached hereto (if corporate Bidder) is a certified copy of resolution authorizing the execution of this certificate by the signatory of this bid or proposal on behalf of the corporate Bidder.

Resolved that _____ be authorized to sign and
NAME of CORPORATION

submit this bid or proposal of this corporation for the following project:

DESCRIBE PROJECT

and to include in such bid or proposal the certificates as to non-collusion required by Section One Hundred Three-D of the General Municipal Law as the act and deed of such corporation and for any inaccuracies or misstatements, in such certificates this corporate Bidder shall be liable under the penalties of perjury.

The foregoing is a true and correct copy of the resolution adopted by

corporation at a meeting of its Board of Directors held on the _____ day of

_____, 20_____.

SEAL OF CORPORATION
Secretary

THE BID FORM

1. (a.) This bid form incorporates the work to be performed for the: **Martin Luther King Administrative Building Apartment Renovation**

This also includes all labor, material accessories and other related items of work required for the completion of the Contract. All work shall meet the approval of the Authorities having jurisdiction.

(b.) This work is to be accomplished for all items of work shown on the drawings and/or the project manual.

(c.) The Undersigned, having familiarized (himself/themselves) with the location conditions effecting the work and its cost, and with the bidder documents prepared by:

2. TOTAL BID PRICE \$ _____
IN NUMBERS

IN WRITING

CONTRACTORS SIGNATURE

DATE

CONTRACTORS NAME (Print)

COMPANY NAME

COMPANY ADDRESS

() _____
COMPANY TELEPHONE NUMBER

E-MAIL

APPENDIX A

CLIENT:

TROY HOUSING AUTHORITY

1 EDDY'S LANE
TROY, NEW YORK 12180

PROJECT:

EDDY MANSION APARTMENT RENOVATION

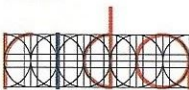
1 EDDY'S LANE
TROY, NEW YORK 12180

ENUMERATION OF DRAWINGS

- CS1 COVER SHEET
- AR11 REMOVAL FLOOR PLAN
- AR12 PROPOSED FLOOR PLAN
- AR13 KITCHEN BATH PLAN & ELEVATIONS
- AR14 FINISH SCHEDULE & SPECIFICATIONS
- AR15 DOOR & WINDOW SCHEDULE & DETAILS
- AR20 WALL TYPES
- RS21 REFLECTIVE CEILING PLAN
- FP11 REMOVAL & PROPOSED FIRE PROTECTION PLANS
- PL11 REMOVAL & PROPOSED PLUMBING PLANS
- EL11 REMOVAL & PROPOSED ELECTRICAL PLANS

DESIGN TEAM:

ARCHITECT:



RIDA Architecture, PLLC
2022 Western Avenue Albany, New York 12203
tel 518.713.4537

GENERAL NOTES:

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO SUBMITTING BID. BID PRICES TO REFLECT ALL EXISTING CONDITIONS.

CONTRACTOR IS RESPONSIBLE TO REMOVE AND DISPOSE OF ALL CONSTRUCTION MATERIAL AND DEBRIS FROM THE PROJECT ON A DAILY BASIS.

THE ARCHITECT SHALL BE NOTIFIED BY LETTER SHOULD ANY DISCREPANCY OR OMISSION ARISE PERTAINING TO THESE DRAWINGS. NO PROVISIONS SHALL BE MADE WITHOUT THE APPROVAL OF THE ARCHITECT.

ANY EXISTING CONDITIONS DAMAGED DURING CONSTRUCTION SHALL BE BROUGHT BACK TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT HIS EXPENSE.

DIMENSIONS AND DETAILS ARE BASED ON BEST AVAILABLE INFORMATION AND THE CONTRACTOR/SUBCONTRACTOR ARE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK WITH ALL DISCREPANCIES REPORTED TO THE ARCHITECT.

ALL WORK SHALL COMPLY WITH N.Y.S. FIRE PREVENTION AND BUILDING CODES, LOCAL BUILDING CODES AND REGULATIONS, AS WELL AS NATIONAL, PLUMBING AND ELECTRICAL CODES.

COORDINATE PREPARATION AND PROVISIONS OF SUBMITTALS WITH PERFORMANCE OF CONSTRUCTION ACTIVITIES. TRANSMIT EACH SUBMITTAL SUFFICIENTLY IN ADVANCE OF PERFORMANCE OF RELATED CONSTRUCTION ACTIVITIES TO AVOID DELAY.

CONTRACTOR SHALL COORDINATE ALL WORK WITH ANY OTHER CONTRACTOR ON SITE.

CONTRACTOR SHALL PROVIDE ALL MATERIALS FOR A COMPLETE INSTALLATION.

THE CONTRACTOR AND/OR SUBCONTRACTORS ARE SOLELY RESPONSIBLE FOR EXECUTING THE WORK AND MAINTAINING THE WORK SITE IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES AND STANDARDS.

CONTRACTOR SHALL PROVIDE PROTECTIVE BARRICADES, SIGNS AND LIGHTING TO PREVENT ANY UNAUTHORIZED PERSONS INTO WORK AREA.

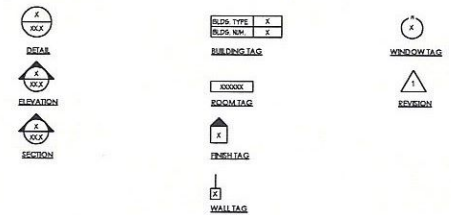
CONTRACTOR SHALL CLEAN-UP AFTER EACH DAY'S WORK AND LEAVE THE JOB CLEAN WITH ALL ITEMS ATTACHED TO, NO FASTENERS, PROJECTIONS, TOOLS, EQUIPMENT OR MATERIAL LYING UNATTENDED.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL OSHA REGULATIONS AND STATE LABOR DEPARTMENT REGULATIONS.

ALL WORK SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR PREPARATION AND INSTALLATION OF MATERIALS.

THE CONTRACTOR IS RESPONSIBLE FOR FILING AND INCUR ALL COST ASSOCIATED WITH THE BUILDING PERMIT.

DRAWING SYMBOLS:



PROJECT:

STAMP:

REVISIONS:

NO: _____

**EDDY MANSION
APARTMENT
RENOVATION**

1 EDDY'S LANE
TROY, NEW YORK 12180

DATE
2024.11.12

© RIDA ARCHITECTURE, PLLC
UNAUTHORIZED ALTERATION OR REVISION TO THE
DRAWINGS BY ANY OTHER PARTY IS STRICTLY PROHIBITED.
EDUCATION LAW ARTICLE 142, SECTION 2004.



BIDA Architecture, PLLC
 2022 Western Avenue
 Albany, New York 12203
 Tel 518.734.4327
 Fax 518.687.0935

STAMP:

BIDA ARCHITECTURE, PLLC
 UNLICENSED ARCHITECTURE USE SUBJECT TO THE
 EXPIRING 30 DAY PERIOD FOR THE NEW YORK STATE
 EDUCATION LAW ARTICLE 148, SECTION 2008

CONSULTANT:

CLIENT:
**TROY HOUSING
 AUTHORITY**
 1 EDDY'S LANE
 TROY, NEW YORK 12180

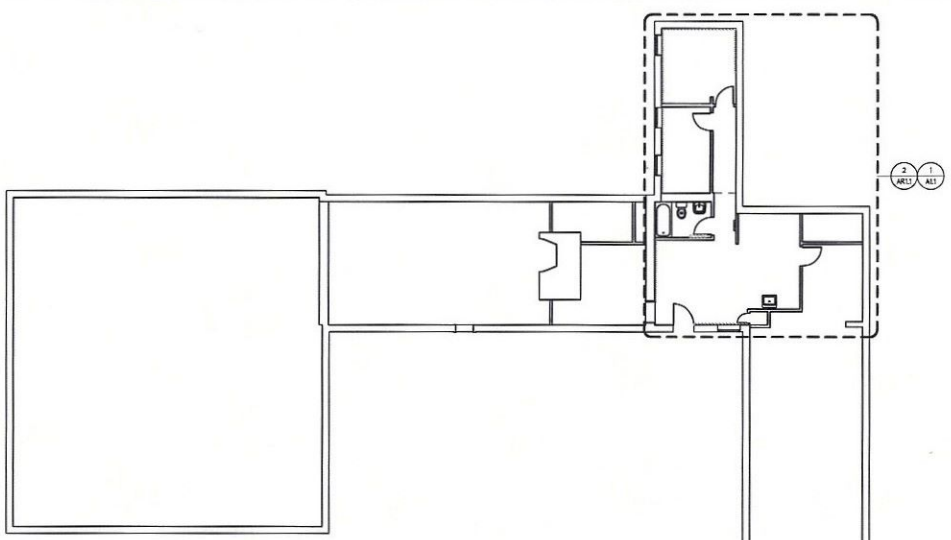
PROJECT:
**EDDY AMNSION
 APARTMENT RENOVATION**
 1 EDDY'S LANE
 TROY, NEW YORK 12180

REVISION:
 NO.

DATE: 2024.11.12
 CONTRACT NUMBER: 1
 DRAWN BY: L.E.R.
 CHECKED BY: D.R.

**REMOVAL FLOOR
 PLANS**

AR1.1



EXISTING BUILDING FLOOR PLAN
 SCALE: 1/8" = 1'-0"

REMOVAL NOTES

CONTRACTOR TO PROVIDE FOR LEGAL OFF-SITE DISPOSAL OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL LOCAL CODE REQUIREMENTS.

ANY DAMAGE TO THE EXISTING STRUCTURE, UTILITIES, VEGETATION, ETC. NOT SCHEDULED FOR DEMOLITION OR REMOVAL, INCLUDING SPOILS, WHETHER INCIDENTAL OR ACCIDENTAL, SHALL BE REPAIRED TO LIKE NEW CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

ONLY DEMOS DEMOLITION THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND EXCESS MATERIAL ACCUMULATED AS A RESULT OF THEIR OPERATIONS AND/OR THE OPERATIONS OF THEIR SUBCONTRACTORS.

THE CONTRACTOR IS RESPONSIBLE FOR FINAL AND THOROUGH CLEANING OF ALL SURFACES, FINISHES AND EQUIPMENT BEFORE FINAL ACCEPTANCE BY THE OWNER.

ALL EXISTING CONDITIONS ARE NOT COMPLETELY DETAILED ON THE DRAWINGS. THE CONTRACTOR SHALL SURVEY THE SITE AND MAKE ALL NECESSARY CHANGES BASED ON EXISTING CONDITIONS FOR PROPER DEMOLITION OF EXISTING WORK AND INCLUDE ALL MATERIAL AND LABOR IN HIS BASE BID PRICE. NO ALLOWANCE SHALL BE MADE FOR FAILURE TO DO SO.

BEFORE SIGNING THIS BID, THE CONTRACTOR SHALL VISIT THE PREMISES OF PROPOSED WORK AND SHALL CAREFULLY EXAMINE THE DRAWINGS, EXISTING CONDITIONS AND LOCATIONS THEREOF. ALL EXISTING CONDITIONS TO BE REFLECTED IN BASE BID.

DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR BEAMS.

MAINTAIN PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.

PREVENT PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT DILUERY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.

CONTRACTOR TO TAKE ALL PRECAUTIONS TO PREVENT FROM DAMAGE THOSE PARTS OF THE EXISTING BUILDING THAT ARE NOT TO BE REMOVED.

ANY DAMAGE INCURRED ON MATERIAL OR EQUIPMENT THAT IS TO REMAIN SHALL BE REPAIRED TO LIKE NEW CONDITION BY THE CONTRACTOR, AT THE CONTRACTOR EXPENSE.

REMOVE ALL ITEMS INDICATED BY DASHED LINES ON THE REMOVALS PLANS.

REPAIR ALL WALLS AND CEILING WHERE ELECTRICAL/PLUMBING/MECHANICAL ITEMS HAVE BEEN REMOVED AND NOT REPAIRED.

DEMOLITION ACTIVITIES SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODE REQUIREMENTS AS WELL AS ANY GOVERNING REGULATORY AGENCY, INCLUDING BUT NOT LIMITED TO OSHA.

CONTRACTOR TO REPAIR/INSTALL ALL HOLES WHERE OLD WALLS ARE REMOVED WITH LINE MATERIALS. ALL SPILL MATERIALS TO MATCH AND ADJACENT MATERIALS/SPICES THIS REPAIR TO INCLUDE BUT NOT LIMITED TO FLOORING, WALL, CEILING, ETC.. REMOVE ALL ABANDONED PIPES, PLUMBING SUPPLY AND VENT LINES THROUGHOUT - REMOVE PLUMBING LINES BACK TO THE OR Y AT ACTIVE LINE THEN GAP - REMOVE FLOORS BACK TO PANEL, DO NOT GAP.

UTILITY SERVICE: MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.

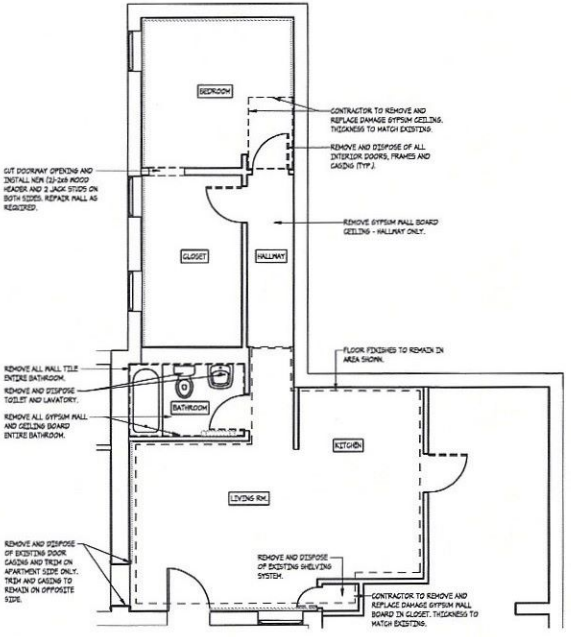
THE DEMOLITION/RENOVATION ACTIVITIES PERTAINING TO THIS PROJECT AS DETAILED IN THE CONTRACTOR PROPOSURE SHALL BE IN STRICT CONFORMANCE WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATION 29 CFR 1918 AS LEAD EXPOSURE IN CONSTRUCTION AND TO MAINTAIN AN AIRBORNE CONCENTRATION OF LEAD-POST BELOW THE ACTION LEVEL.

LEAD PAINT IS ASSUMED PRESENT ON ALL PAINTED SURFACES. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY ITEMS NOTED IN A MANNER APPROVED BY ALL REGULATING BODIES INCLUDING BUT NOT LIMITED TO MRO, NYSDOH, EPA AND OSHA. THE CONTRACTOR SHALL STRICTLY COMPLY WITH THE STANDARDS AND REGULATIONS THAT ARE EFFECTIVE AS OF THE WORK START DATE. CONTRACTOR SHALL UNDERSTAND THE OWNER AND ARCHITECT OF ANY RESPONSIBILITY OR LIABILITY ARISING FROM LEAD PAINT REMOVAL WORK.

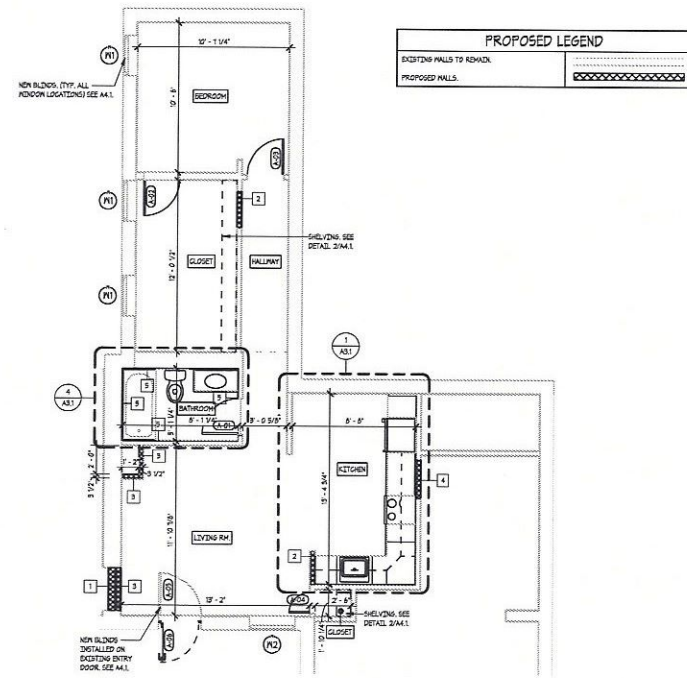
ITEMS TO BE REMOVED BY THE TROY HOUSING AUTHORITY:

- KITCHEN CABINETRY, SINK AND APPLIANCES.
- FLOORING IN BATHROOM, BEDROOM, BEDROOM GLOSET AND HALLWAY TO STEP DOWN.
- ALL WALL PANEL - ENTIRE APARTMENT.
- INTERIOR DOORS - ENTIRE APARTMENT.

REMOVAL LEGEND	
EXISTING WALLS TO REMAIN	—————
EXISTING WALLS TO BE REMOVED	- - - - -
EXISTING DOORS & WINDOWS TO BE REMOVED	⊠ ⊠ ⊠ ⊠ ⊠ ⊠ ⊠ ⊠ ⊠ ⊠



APARTMENT REMOVAL PLAN
 SCALE: 1/4" = 1'-0"



PROPOSED LEGEND	
EXISTING WALLS TO REMAIN	(Symbol: Dashed line with dots)
PROPOSED WALLS	(Symbol: Dashed line with crosses)

1 APARTMENT PROPOSED PLAN
SCALE: 1/4" = 1'-0"

REDA Architecture, PLLC
2022 Western Avenue
Albany, New York 12203
Tel 518.733.4537
Fax 518.687.0735

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UNAPPROVED AND UNRECORDED. NO REVIEW BY SEA.
EDUCATION LAW ARTICLE 161, SECTION 603B
CONSULTANT:

CLIENT:
TROY HOUSING AUTHORITY
1 EDDY'S LANE
TROY, NEW YORK 12180

PROJECT:
EDDY MANSION
APARTMENT RENOVATION
1 EDDY'S LANE
TROY, NEW YORK 12180

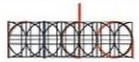
REVISION:
NO.

DATE: 2024.11.12
CONTRACT NUMBER: 1
DRAWN BY: L.E.R.
CHECKED BY: D.R.

PROPOSED FLOOR PLAN

A1.1

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 11/17/2024 2:52:39 PM



REDA Architecture, PLLC
2022 Western Avenue
Albany, New York 12208
tel 518.733.6537
fax 518.647.0715

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REDA ARCHITECTURE, PLLC
UNLICENSED ARCHITECT. IN ACCORDANCE WITH
CHAPTER 8 OF ARTICLE 16 OF THE NEW YORK STATE
BUILDING LAW REGULATORY CODE, SECTION 2605

CONSULTANT:

CLIENT:
TROY HOUSING
AUTHORITY
1 EDDY'S LANE
TROY, NEW YORK 12180

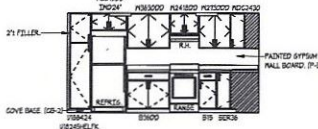
PROJECT:
EDDY MANSION
APARTMENT RENOVATION
1 EDDY'S LANE
TROY, NEW YORK 12180

REVISION:
NO.

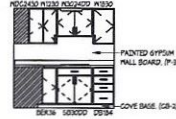
DATE: 2024.11.12
CONTRACT NUMBER: 1
DRAWN BY: Author
CHECKED BY: D.R.

KITCHEN & BATH
PLANS &
ELEVATIONS

A3.1



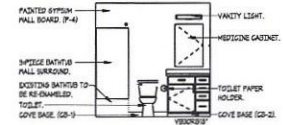
3 KITCHEN ELEVATION B
SCALE: 1/4" = 1'-0"



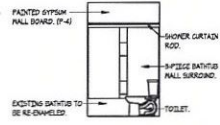
2 KITCHEN ELEVATION A
SCALE: 1/4" = 1'-0"



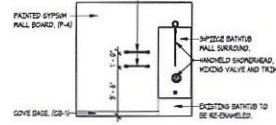
1 KITCHEN FLOOR PLAN
SCALE: 1/4" = 1'-0"



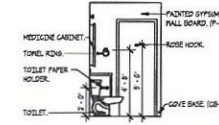
8 BATHROOM ELEVATION D
SCALE: 1/4" = 1'-0"



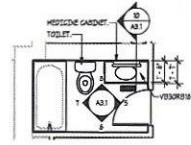
1 BATHROOM ELEVATION C
SCALE: 1/4" = 1'-0"



6 BATHROOM ELEVATION B
SCALE: 1/4" = 1'-0"



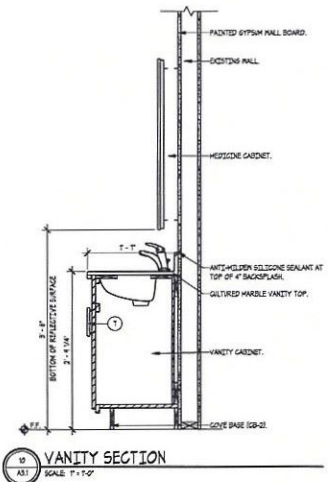
3 BATHROOM ELEVATION A
SCALE: 1/4" = 1'-0"



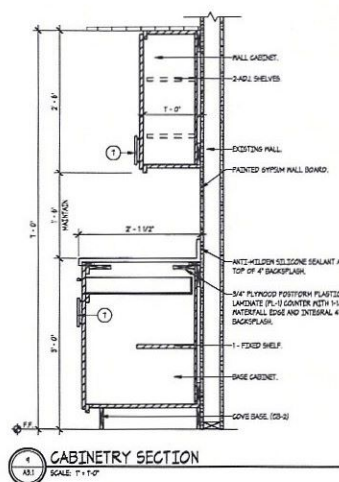
4 BATHROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"

KITCHEN & BATHROOM SPECIFICATIONS

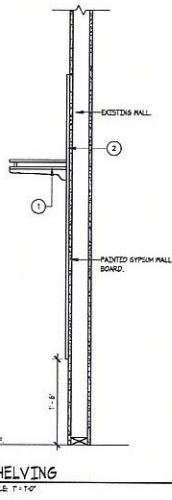
- BATHROOM ACCESSORIES**
- ROSE HOOK, SATCO OR EQUAL, ROSE HOOK LATTICE, MODEL# 4245, FINISH TO BE SATIN NICKEL.
 - TONEL BAR, SATCO OR EQUAL, 18" TONEL BAR, MODEL# 4300, FINISH TO BE SATIN NICKEL.
 - TOILET PAPER HOLDER, SATCO OR EQUAL, TISSUE HOLDER, MODEL# 4260, FINISH TO BE SATIN NICKEL.
 - TONEL KNOB, SATCO OR EQUAL, TONEL KNOB, MODEL# 4302, FINISH TO BE SATIN NICKEL.
 - GRAB BARS, BREVY KRANSE OR EQUAL, GRAB BAR, MODEL# D-15, ROUND SWAP ON FLANGE, POWDER COAT FINISH COLOR SKY WHITE, SEE FLOOR PLANS AND ELEVATIONS FOR SIZES.
- KITCHEN APPLIANCES & FIXTURES**
- RANGE, GE OR EQUAL, 24" FREE STANDING FRONT CONTROL, RANGE, MODEL# RAS060PMW, COLOR TO BE WHITE.
 - REFRIGERATOR, GE OR EQUAL, 33 1/2" H, ENERGY STAR, TOP FREEZER REFRIGERATOR, BLAND REFRIGERATOR, MODEL# WTMM17M0W, COLOR TO BE WHITE.
 - RANGE HOOD, GE OR EQUAL, 24" UNDERCABINET RECESSED RANGE HOOD, MODEL# AVX2400, COLOR TO BE WHITE.
- CABINETRY**
- VANITY TOP, RHINOSE OR EQUAL, GUILTERD MARBLE 1/2" VANITY TOP, OVAL BOWL, COLOR TO BE SOLID WHITE.
 - KITCHEN CABINETS, MANTION KENNY, ULTRATOP, INTERMALL EDGE, PLYWOOD PLATE, LAMINATE FORMERFORM GONETOP, 1/2" FRONT NOSE, 4" INTEGRAL BACKSLASH.
 - CABINETRY, POLY OR EQUAL, GLASS GINETE, SHIT HOPTHY DOOR STYLE, HANLENT STAY, ALL PLYWOOD BOUL.
 - TOP SHELVES, 4" EXPDED END OR EQUAL, BASE CABINET, TO BE NOTICED CUT BACK TO BE FLUSH WITH END OF BASE CABINET END PANEL.
 - ALL BASE FILLERS AND END PANELS TO BE NOTICED TO FORM THE KISS.
 - VANITY WALL BASE TO RUN CONTINUOUSLY AROUND OUTSIDE OF BASE CABINET CORNER.
 - CABINET PULLS, HARDWARE RESOURCE OR EQUAL, SQUARE THATCHER PULL, MODEL# BSH-ROSN, FINISH SATIN NICKEL.



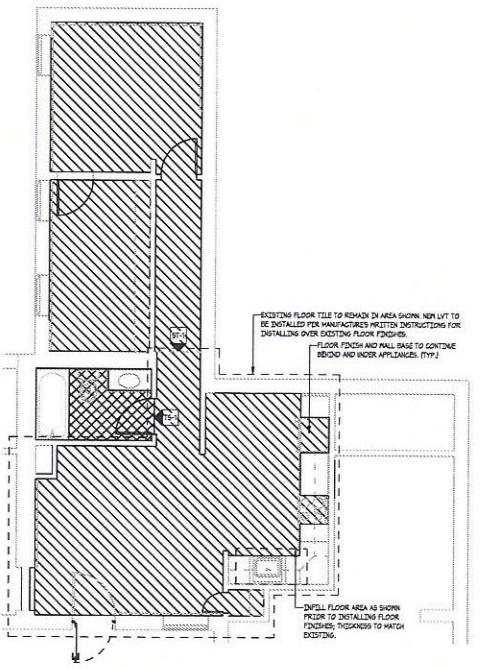
10 VANITY SECTION
SCALE: 7/8" = 1'-0"



4 CABINETRY SECTION
SCALE: 7/8" = 1'-0"



2 **SHELVING**
SCALE: 1" = 1'-0"



1 **APARTMENT FLOOR FINISH PLAN**
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE						
NO.	MATERIAL	MANUFACTURER	PROVIDER	COLORS	SIZE	COMMENTS
FLOORINGS						
V-1	VNTL SHEET	AMWORTHING OR EQUAL	STRATAWAX PRO	ASPH TORNEK DEL. PANE SOLING GREENE	12 ROLLS 59 IN THICKNESS	MODIFIED LOOSE LAY INSTALLATION, NO SEAMS
LVT-1	LUXURY VNTL TILE	OR EQUAL	ON GRADE	EUROPEAN PALMET	4.5MM + 4.84" X 36.30"	
CB-1	GOVE BASE	JOHNSONITE OR EQUAL	TRADITIONAL TUE GOVE BASE GR-XX	121 CEMENT	4" THICK, 120" THICKNESS	TO BE INSTALLED USING 120" ROLL, 6000FS.
CB-2	GOVE BASE	JOHNSONITE OR EQUAL	TRADITIONAL TUE GOVE BASE GR-XX	TAT RUBY VNL	4" THICK, 120" THICKNESS	TO BE INSTALLED USING 120" ROLL, 6000FS.
TR-1	TRANSITION	JOHNSONITE OR EQUAL	GTN-XX-4T	121 CEMENT	N/A	
BT-1	STACK NOSING	JOHNSONITE OR EQUAL	RGN-XX-A	121 CEMENT	N/A	

MISCELLANEOUS						
FL-1	PLASTER LAMINATE	NEWARK OR EQUAL	POSTFORMING (REPI) GRADE 3	PANEL WHITE POSTFORMING (REPI)	N/A	
PALL & CEILINGS						
F-1	PAINT	SHERWIN WILLIAMS OR EQUAL	PRIMAR 200 HP LATER E83-100	CEILING BRISTL PASTE SPRINT	N/A	APPLY ONE COAT OF MANUFACTURER'S RECOMMENDED PRIMER AND TWO COATS PAINT
F-2	PAINT	SHERWIN WILLIAMS OR EQUAL	PRIMAR 200 HP LATER E83-100	CEILING BRISTL PASTE SPRINT	N/A	APPLY ONE COAT OF MANUFACTURER'S RECOMMENDED PRIMER AND TWO COATS PAINT
F-3	PAINT	SHERWIN WILLIAMS OR EQUAL	PRIMAR 200 HP LATER E83-100	MATCH BEN MOORE HC-81 MANCHESTER TAN	N/A	APPLY ONE COAT OF MANUFACTURER'S RECOMMENDED PRIMER AND TWO COATS PAINT
F-4	PAINT	SHERWIN WILLIAMS OR EQUAL	PRIMAR 200 HP LATER E83-100	MATCH BEN MOORE HC-81 MANCHESTER TAN	N/A	APPLY ONE COAT OF MANUFACTURER'S RECOMMENDED PRIMER AND TWO COATS PAINT
F-5	PAINT	SHERWIN WILLIAMS OR EQUAL	PRIMAR 200 HP LATER E83-100	CEILING BRISTL PASTE SPRINT	N/A	APPLY ONE COAT OF MANUFACTURER'S RECOMMENDED PRIMER AND TWO COATS PAINT
F-6	PAINT	SHERWIN WILLIAMS OR EQUAL	EMERALD KSB-T80	CEILING BRISTL PASTE SPRINT	N/A	APPLY ONE COAT OF MANUFACTURER'S RECOMMENDED PRIMER AND TWO COATS PAINT
TR-1	DOOR CASING	BRIDGCO OR EQUAL	NR03	P-5	3 1/2"	

FLOOR FINISH LEGEND	
	LVT-1
	F-1

ROOM FINISH SCHEDULE							
NO.	ROOM NAME	FLOOR	BASE	PALL	CEILING	HEIGHT	REMARKS
	BEDROOM	LVT-1	CB-1	P-3	F-1	7'-10"	
	CLOSET	LVT-1	CB-1	P-3	F-1	7'-10"	
	BATHROOM	LVT-1	CB-1	P-3	ACE-11	7'-10"	
	BATHROOM	LVT-1	CB-2	P-4	F-2	8'-4"	
	HALLWAY	LVT-1	CB-1	P-2	F-1	7'-10"	
	LIVING RM.	LVT-1	CB-1	P-3	F-1	8'-4"	

- FINISH & FIXTURE SPECIFICATIONS**
- SUB-FLOOR**
- ALL SUB-FLOOR ARE TO BE SMOOTH FLAT, LEVEL & FREE OF ALL RESIDUE, ADHESIVES, STAIN, DEBRIS, ETC. PRIOR TO INSTALLING FLOOR FINISHES, UNDERLAYMENTS, ETC.
 - ALL SEAMS OF SUB-FLOOR TO BE FINISHED TO A SMOOTH LEVEL, SURFACE WITH WOOD OR EQUAL FEATHER FINISH.
- VNTL SHEET**
- TO BE INSTALLED AFTER CASINETRY HAS BEEN INSTALLED.
 - INSTALLATION TO BE SEAMLESS.
 - INSTALLATION TO FOLLOW MANUFACTURER'S MODIFIED LOOSE LAY METHOD.
 - FLOORING TO BE SET 1/4" AWAY FROM ALL VERTICAL SURFACES DO NOT GET FULL OR SAUS TO VERTICAL SURFACES.
 - ALONG FRONT OF SHOWERS/BATHS TO RECEIVE 4" TO 8" WIDE BAND OF ADHESIVE RESISTANT ACRYLIC DOUBLE-FACED TAPE FOR VNTL FLOORING.
- VNTL WALL BASE**
- APARTMENT BATHROOMS: APPLY PEGGARA 340 OR EQUAL SANITARY MOLDEN RESISTANT SILICONE SEALANT AROUND PERIMETER OF VNTL WALL BASE TOE IN ENTIRE BATHROOM, GREAT ROOM BETWEEN VNTL FLOORING AND VNTL WALL BASE.
 - WALL BASE TO CONTINUE BEHIND ALL APPLIANCES AND AROUND PERIMETER OF BASE CABINETS.
 - WALL BASE TO BE INSTALLED USING JOHNSONITE 660 ACRYLIC GOVE BASE ADHESIVE.
 - WALL BASE TO BE INSTALLED USING ROLL GOODS.
- EXISTING 5/8\"/>**

- WINDOW & ENTRY DOOR PAINT REMOVAL/WOOD REPAIR SCOPE OF WORK**
- PROJECT HOSE-UP:**
- FREE TO START OF WORK OF THIS SECTION, PERFORM ONE TEST AREA OF WOOD CONSOLIDATION AND ONE TEST AREA OF ROOF FILLING AND REPAIR AS SPECIFIED BELOW IN LOCATIONS SELECTED BY ARCHITECT. REPEAT TEST AREAS IF NECESSARY UNTIL APPROVED BY ARCHITECT. APPROVED TEST AREAS SHALL REPRESENT THE GOODMAN ACCEPTABLE STANDARD FOR WORK OF THIS SECTION.

- PRODUCTS:**
- WOOD CONSOLIDATE: USE ADVANCE REPAIR TECHNOLOGY; PREMIXED OR EQUAL TO HARDEN AND SEAL THE DAMAGED WOOD THAT HAS BEEN PREPARED.
 - WOOD PATCHING COMPOUND: USE ADVANCE REPAIR TECHNOLOGY; PREMIXED PASTE FLEX-TEC W OR EQUAL TO FILL/SEAL HOLES AND GABLETS OF SPREADING TO A FEATHER EDGE.
- INSPECTION:**
- AFTER LOOSE AND DETRIERATED CONTAINS HAVE BEEN REMOVED AS SPECIFIED IN DIVISION 08 SECTION "PAINTING": INSPECT SURFACES OF EXTERIOR WOOD IN CONJUNCTION WITH ARCHITECT TO DETERMINE METHOD AND EXTENT OF TREATMENT REQUIRED.
 - ALL REPAIR OR SPOT REPAIR WORK REQUIRES CONSOLIDATION.
 - ALL AREAS THAT DO NOT MEET ORIGINAL PROJECT REQUIREMENTS REPAIRS AND REPAIR.
 - AREAS OF WOOD DAMAGE AND DETRIERATION REQUIRES OUT-GRAWM REPAIRS OR MEMBER REPLACEMENT.
 - ARCHITECT'S PRESSION REGARDING EXTENT OF REPAIRS CONSOLIDATION AND REPAIR, OUT-GRAWM REPAIRS, AND MEMBER REPLACEMENT SHALL BE FINAL.
- PREPARATION:**
- LEAD PAINT IS ASSUMED TO BE PRESENT ON ALL WOODEN ELEMENTS. THE CONTRACTOR SHALL STRIP THE PAINT FROM THE WOODSURFACES AND/OR PAINT IN A MANNER APPROVED BY ALL REGULATING AGENCIES INCLUDING BUT NOT LIMITED TO NYSDOL, NYSDOS, EPA AND OSHA. THE CONTRACTOR SHALL STRICTLY COMPLY WITH THE STANDARDS AND REGULATIONS THAT ARE EFFECTIVE AS OF THE WORK START DATE. CONTRACTOR SHALL DETERMINE THE OWNERSHIP AND LIABILITY ARISING FROM LEAD PAINT REMOVAL WORK.
 - REMOVE ALL CONTAINS FROM EXTERIOR WINDOW FRAMES AND EXTERIOR DOOR FRAMES AND JAMBS.
 - GET BACK AND REMOVE ALL LOOSE, SOFT, AND FLAKING PRE-EXISTING WOOD.
 - SCAFFOLD AND SAND AS REQUIRED TO INSURE AREAS TO BE CONSOLIDATED, FILLED, OR REPAIRED ARE FREE OF STAIN, PAINT, OIL, GREASE, AND OTHER SUBSTANCES THAT MIGHT IMPROVE SUCCESS, CONSOLIDATION AND FILLING.
 - TAKE ALL STEPS NECESSARY TO INSURE THAT WOOD IS DRY, NO OPEN FLAMES SHALL BE USED.
- EXECUTION:**
- USE LOW AND MEDIUM VISCOSITY EPXY CONSOLIDATE AS APPROPRIATE TO EACH SITUATION.
 - DRILL HOLES IN AREAS OF DETRIERATED WOOD AS REQUIRED TO INSURE COMPLETE PENETRATION OF CONSOLIDATE INTO DETRIERATED PORTIONS OF MEMBERS. CONSOLIDATE SHALL REACH AREAS OF SOUND WOOD.
 - FURN CONSOLIDATE INTO WOOD WITH A BRUSH UNTIL WOOD IS SATURATED CARE FOLLOWING MANUFACTURER'S DIRECTIONS.
 - APPLY PATCHING MIXTURE TO AREAS OF WOOD THAT HAVE BEEN CONSOLIDATED BEFORE EPXY CONSOLIDATE HAS COMPLETELY CURED.
 - FILL AND SAND TO MATCH DESIRED PROFILE AND TO PRODUCE UNIFORM SMOOTH SURFACE THAT MATCHES SURFACE OF SURROUNDING WOOD.
- FILLING WITH WOOD PUTTY:**
- USE WOOD PUTTY FOLLOWING MANUFACTURER'S INSTRUCTIONS.
 - FILL DEPRESSIONS IN EXISTING WOOD. AVOID SPREADING PUTTY ON FLAT SURFACES. FORM SHARP AND AGGURATE PROFILES TO MATCH EXISTING.
 - FILE AND SAND TO MATCH DESIRED PROFILE AND TO PRODUCE UNIFORM SMOOTH SURFACE THAT MATCHES SURFACE OF SURROUNDING WOOD. NO COARSE-GRAINED SANDPAPER MARK OR OTHER IMPERFECTIONS SHALL BE PERMITTED.
- FINISH:**
- PRIME (1 COAT) AND PAINT (2 COATS) (P-5).



RDA Architecture, PLLC
3022 Western Avenue
Albany, New York 12203
Tel 518.733.4377
Fax 518.487.2958

STAMP:

CONSULTANT:

CLIENT:
TROY HOUSING AUTHORITY
1 EDDYS LANE
TROY, NEW YORK 12180

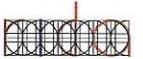
PROJECT:
EDDY MANSION APARTMENT RENOVATION
1 EDDYS LANE
TROY, NEW YORK 12180

REVISION:
NO.

DATE: 2024.11.12
CONTRACT NUMBER: 1
DRAWN BY: Author
CHECKED BY: D.R.

FINISH SCHEDULE & SPECIFICATIONS

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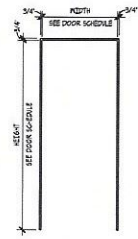
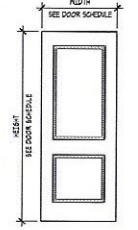
DOOR SCHEDULE												
NUMBER	DOOR				LABEL	FRAME			DOOR HARDWARE	THRESHOLD	REMARKS	
	SPEC.	ELEV.	SIZE (IN)	THK.		MATL.	JAMB	HEAD				
A-01	DS1	DI	30" x 67"	1 3/8"	WOOD	FI	WOOD	3/4x1.5	2/4x1.5	HT		
A-02	DS1	DI	30" x 67"	1 3/8"	WOOD	-	FI	WOOD	3/4x1.5	2/4x1.5	IG	
A-03	DS1	DI	30" x 67"	1 3/8"	WOOD	-	FI	WOOD	3/4x1.5	2/4x1.5	HT	
A-04	DS1	DI	17 1/2" x 80"	1 3/8"	WOOD	-	FI	WOOD	3/4x1.5	2/4x1.5	IG	
A-05	DS1	EX	36" x 80"	1 3/4"	WOOD	-	EXIST.	EXIST.	EXIST.	IG	INDOOR & ENTRY DOOR PAINT REMOVAL/WOOD REPAIR SCOPE OF WORK ON A6.1. VERIFY ROUGH OPENING TO CONFORM DOOR HULL FIT PRIOR OF CROSSINGS.	
A-06	DS2	-	36" x 72"	0"	ALUM.	-	ALUM.	4/4x1.5	-	-		

DOOR SPECIFICATIONS

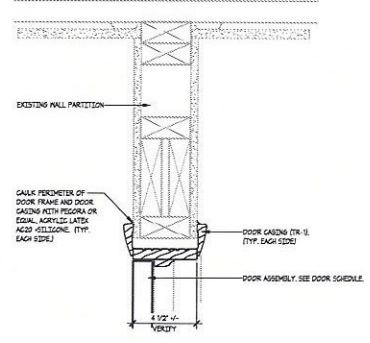
- DOOR SPEC. DS1**
 MANUFACTURER: JELD-KOEN OR EQUAL
 MODEL: MODA COLLECTION, MODEL: PMP023
 CORE: SOLID CORE
 FACE: SMOOTH
 FINISH: 3-POUR PREP
 FINISH: FACTORY FINISH
 PAINT: PAINTED (P-5)
- DOOR FRAME:** PRE-HANG WOOD WITH PERIMETER STOP
 FINISH: FACTORY FINISH
 PAINT: PAINTED (P-5)
- DOOR SPEC. DS2**
 MANUFACTURER: ANDERSON WINDOWS & DOORS OR EQUAL
 MODEL: 10 SERIES, 1/2 LIGHT
 CORE: MODIFIED RESISTANT WOOD
 FACE: ALUMINUM
 FINISH: CONTIGUOUS
- DOOR FRAME:** PRE-HANG - ALUMINUM
 PAINT: FACTORY FINISH

HARDWARE SPECIFICATIONS

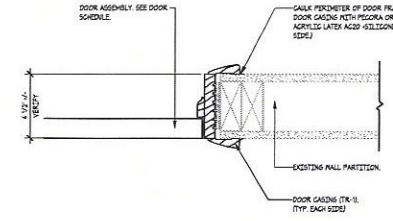
- HARDWARE SPEC. H1**
 1 1/2 PR. KNOBS: STANLEY OR EQUAL, MODEL # R24V1, 3 1/2" x 3 1/2", ROUND D
 CORNER, RESIDENTIAL, KNOB, FINISH TO BE SATIN CHROME
 1.5A. PASSAGE SET: SCHLAGE OR EQUAL, MODEL # W60R423
 1.5A. DOOR STOP: 3/16" OR EQUAL, MODEL # T2 2-4/8"
- HARDWARE SPEC. H2**
 1 1/2 PR. KNOBS: STANLEY OR EQUAL, MODEL # R24V1, 3 1/2" x 3 1/2", ROUND D
 CORNER, RESIDENTIAL, KNOB, FINISH TO BE SATIN CHROME
 1.5A. PASSAGE SET: SCHLAGE OR EQUAL, MODEL # W60R423
 1.5A. DOOR STOP: 3/16" OR EQUAL, MODEL # T2 2-4/8"
- HARDWARE SPEC. H3**
 1.5A. PASSAGE SET: SCHLAGE OR EQUAL, MODEL # W60S-ATH-425
 DEADBOLT: BEST OR EQUAL, MODEL # B60R-408-6 PDL, KEY CORE
 TO EXISTING EXISTING SYSTEM
 1.5A. PERIMETER GASKETING: PERMA-G OR EQUAL, MODEL # 256AFK
 1.5A. SWEPT: PERMA-G OR EQUAL, MODEL # 57AF



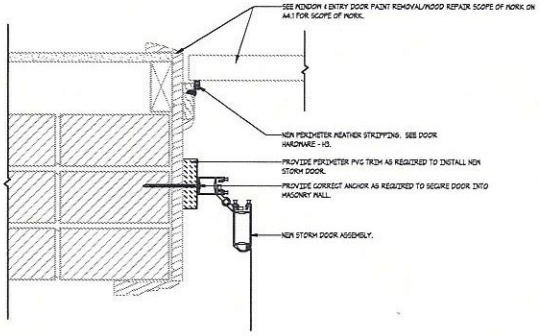
1 A6.1 DOOR & FRAME ELEVATIONS
 SCALE: 1/2" = 1'-0"



2 A6.1 DOOR HEAD DETAIL
 SCALE: 3/4" = 1'-0"



3 A6.1 DOOR JAMB DETAIL
 SCALE: 3/4" = 1'-0"



4 A6.1 STORM DOOR JAMB DETAIL
 SCALE: 3/4" = 1'-0"

WINDOW SCHEDULE													
NUMBER	SIZE (IN)			HEAD HT.	STYLE	ELEV.	DETAILS			SAFETY GLAZING	FALL PROTECTION	SPFC	REMARKS
	WID.	HGT.	THK.				JAMB	HEAD	SEAL				
W1	34" x 36"	34"	3/8"	4'-4"	DOUBLE HANG	-/-	-/-	-/-	-/-	-	-	-	SEE WINDOW RESTORATION NOTES.
W2	30" x 36"	30"	3/8"	4'-4"	DOUBLE HANG	-/-	-/-	-/-	-/-	-	-	-	SEE WINDOW RESTORATION NOTES.

- WINDOW RESTORATION NOTES**
- UNLESS OTHERWISE NOTED ALL EXISTING WINDOW UNITS ARE SINGLE-PANE, TRUE-DIVIDED LITES, AND ALL GLASS AND HARDWARE ARE TO BE RESTORED TO OPERATING CONDITION AND PAINTED TO MATCH THE ORIGINAL WINDOW. REGARDLESS SOME WINDOWS ARE EITHER FIXED IN PLACE, SASH OR OTHER COMPONENTS MISSING OR OTHERWISE UNREPAIRABLE, CONTRACTOR TO VERIFY EXISTING CONDITIONS, SUCH AS SASH WEIGHTS, WEIGHT PROTECT, DIVIDERS, SASH CORERS, METAL FINISHES, NON-RESTORABLE ETC., AND REPLACE WITH NEW OR EQUIVALENT PARTS.
 - REPLACE WEARERS OR BROKEN GLASS PANELS.
 - SEE WINDOW & ENTRY DOOR PAINT REMOVAL/WOOD REPAIR SCOPE OF WORK ON A6.1 FOR SCOPE OF WORK.

RDA Architecture, PLLC
 2022 Western Avenue
 Albany, New York 12203
 Tel: 518.713.4337
 Fax: 518.487.8933

STAMP:

RDA ARCHITECTURE, PLLC
 2022 WESTERN AVENUE
 ALBANY, NEW YORK 12203
 TEL: 518.713.4337
 FAX: 518.487.8933

CONSULTANT:

CLIENT:
TROY HOUSING AUTHORITY

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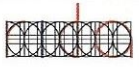
PROJECT:
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DOOR & WINDOW SCHEDULE & DETAILS

A6.1



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 2022 Western Avenue
 Albany, New York 12203
 Tel 518.713.4517
 Fax 518.687.0735

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CLIENT:
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 1 EDDY'S LANE
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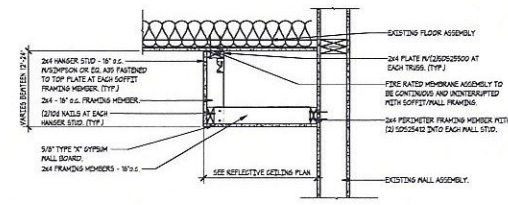
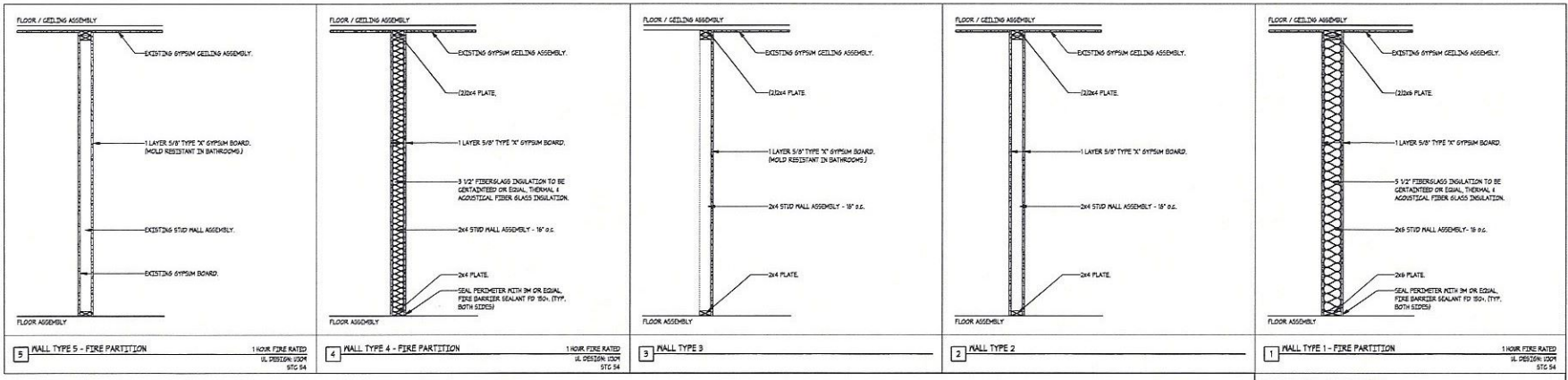
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WALL TYPES

A10.1



1 SOFFIT DETAIL
 SCALE: 1" = 1'-0"

WALL ASSEMBLY NOTES

ALL COMPONENTS WITHIN A FIRE RESISTANCE ASSEMBLY SHALL BE UL TESTED AND APPROVED.

REFER TO WWW.U.L.COM FOR SPECIFIC DESIGN AND MATERIAL REQUIREMENTS FOR EACH INDICATED UL DESIGN ASSEMBLY, INCLUDING FASTENERS AND EDGE TREATMENTS.

PARTITIONS ARE INDICATED ON THE FLOOR PLANS BY A WALL TYPE SYMBOL DESIGNATION.

WHERE PARTITION WALL TYPES ARE INDICATED, THE PARTITION SYSTEM IS CONTINUOUS UNTIL THE PARTITION CHANGES DIRECTION OR A DIFFERENT PARTITION SYSTEM IS INDICATED.

ALL PENETRATIONS INTO AND/OR THROUGH A FIRE RATED ASSEMBLY MUST BE PROTECTED WITH AN APPROVED FIRE STOP OR MEMBRANE PENETRATION SYSTEM. THE GENERAL CONTRACTOR SHALL SUBMIT ALL FIRESTOP ASSEMBLIES TO INCLUDE TYPE OF PRODUCT, ASSEMBLY, AND INSTALLATION DETAILS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

RATED PARTITIONS ARE TO BE CONSTRUCTED BEFORE NON-RATED PARTITIONS. ABUT NON-RATED PARTITIONS TO RATED PARTITIONS.

FIRE PARTITION CONTINUITY OF TYPICAL FIRE RESISTANCE RATED INTERIOR WALL PARTITIONS FROM TOP OF FLOOR ASSEMBLY BELOW TO JOIST/SOFT OF FIRE RESISTANCE RATED FLOOR/CEILING OR ROOF/CEILING AND BE SECURELY ATTACHED THERE TO.

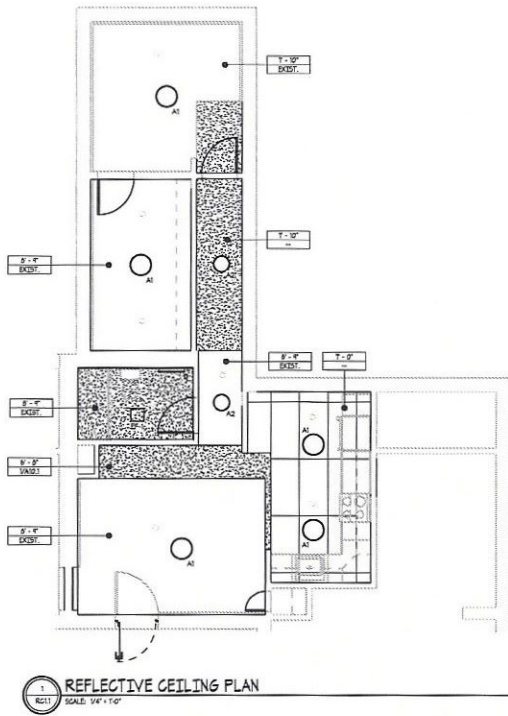
FIRE BARRIER WALLS AT VERTICAL ENCLOSURES (STAIRWELLS & MECHANICAL ROOMS) FIRE BARRIER AT VERTICAL ENCLOSURES SHALL EXTEND FROM TOP OF THE FLOOR/CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF FLOOR OR ROOF SLAB/DECK ABOVE AND SHALL BE CONTINUOUS THROUGH CONCRETE SPANNS THROUGH PENETRATIONS IN ALL PARTITIONS NOTED TO BE SOUND RESISTANCE RATED AND FIRE RESISTANCE RATED ARE REQUIRED TO BE SEALED WITH MANUFACTURER'S GARNISH OF WEAVING BOTH SOUND AND FIRE RESISTANCE RATINGS.

NO VERTICAL CAVITY WITHIN A PARTITION IS TO BE GREATER THAN 1/2" IN HEIGHT. PROVIDE HORIZONTAL FIREBLOCKING AS REQUIRED.

NO VERTICAL CAVITY WITHIN A PARTITION IS TO BE GREATER THAN 1/2" IN HEIGHT. PROVIDE HORIZONTAL FIREBLOCKING AS REQUIRED.

ALL PARTITIONS NOTED TO BE SOUND RATED TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE REFERENCED TEST.

ALL THROUGH PENETRATIONS IN SOUND RESISTANCE RATED PARTITIONS SHALL BE SEALED WITH ACOUSTICAL SEALANT TO MAINTAIN REFERENCED SOUND RESISTANCE RATINGS.



REFLECTIVE CEILING SYMBOL LEGEND			
NO.	SYMBOL	DESCRIPTION	REMARKS
A1	○	18"Ø SURFACE MOUNTED FIXTURE, FINISH TO BE SATIN NICKEL.	
A2	○	18"Ø SURFACE MOUNTED FIXTURE, FINISH TO BE SATIN NICKEL.	
B	▬	24" LINEAR WALL SCONCE, FINISH TO BE SATIN NICKEL.	INSTALLED AT 1'-0" A.F.F. c/c.
EP-1	□	EXHAUST FAN.	
	▨	NEW OPTIMUM WALL BOARD, HEIGHT VARIES.	
	▩	ACT-1, HEIGHT VARIES.	

- REFLECTIVE CEILING NOTES**
1. ALL FIXTURE QUANTITY IS FOR REFERENCE ONLY. SEE ELECTRICAL DRAWINGS FOR EXACT LOCATION.
 2. SEE ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SPECIFICATIONS AND MODEL NUMBERS.
 3. ALL OPTIMUM WALL BOARD CEILING TO BE FINISHED. SEE A41.



EDDA Architecture, PLLC
 2022 Western Avenue
 Albany, New York 12203
 Tel: 518.713.4517
 Fax: 518.687.0755

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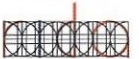
PROJECT:
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 1 EDDY'S LANE
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REFLECTIVE
 CEILING PLAN

RC1.1



RIDA Architecture, PLLC
 2032 Western Avenue
 Albany, New York 12203
 Tel 518.733.4327
 Fax 518.487.0933

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 (UNLICENSED ARCHITECTS TO USE ONLY)
 (UNLICENSED ARCHITECTS TO USE ONLY)

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 TROY, NEW YORK 12180

PROJECT:
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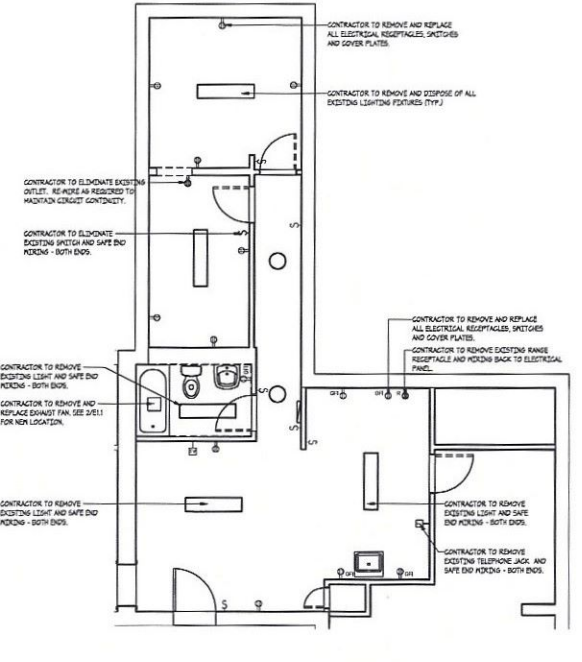
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**REMOVAL &
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 ELECTRICAL
 PLANS**

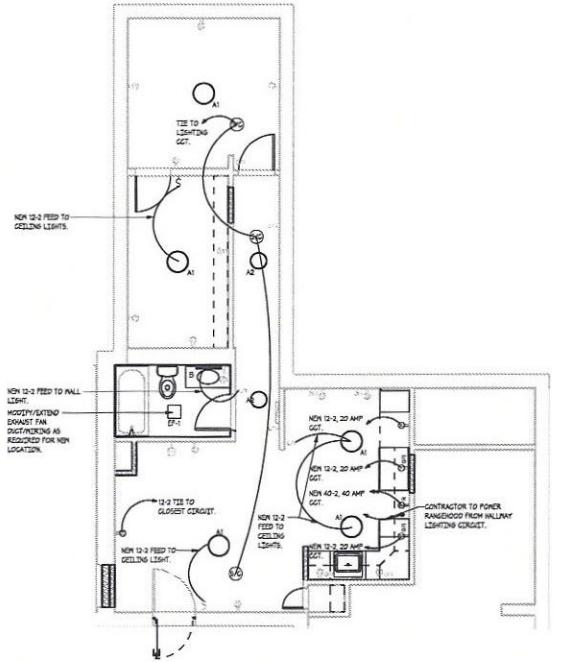
E1.1

ELECTRICAL NOTES
 THE INTENTION OF DRAWINGS AND SPECIFICATIONS IS FOR A COMPLETE SYSTEM WHICH IS ADJUSTED, TESTED AND READY FOR OPERATION.
 CONTRACTOR TO HAVE ALL WORK INSPECTED BY LOCAL ELECTRICAL INSPECTION AGENCY.
QUALITY ASSURANCE
 COMPLY WITH NYFA 30, 32 AND 32E FOR COMPONENTS AND INSTALLATION.
COORDINATING AND SCHEDULING
 COORDINATE ELECTRICAL EQUIPMENT INSTALLATION WITH OTHER BUILDING COMPONENTS. COORDINATE CONNECTION ELECTRICAL SERVICES TO COMPONENTS FINISHED UNDER DIFFERENT TRADES.
 COORDINATE REQUIREMENTS FOR ACCESS PANELS AND DOORS WHERE ELECTRICAL ITEMS REQUIRING ACCESS ARE CONCEALED BY FINISHED SURFACES. ACCESS PANELS AND DOORS ARE TO BE INSTALLED AND SHOP DRAWINGS TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
 COORDINATE INSTALLING ELECTRICAL IDENTIFICATION AFTER COMPLETION OF FINISHING WHERE IDENTIFICATION IS APPLIED TO FIELD-FINISHED SURFACES.
 COORDINATE INSTALLING ELECTRICAL IDENTIFYING DEVICES AND MARKINGS PRIOR TO INSTALLING ADDITIONAL CEILING AND REGULAR FINISHES THAT CONCEAL SUCH ITEMS.
EQUIPMENT INSTALLATION REQUIREMENTS
 INSTALL COMPONENTS AND EQUIPMENT TO PROVIDE THE MAXIMUM POSSIBLE HEADROOM WHERE MOUNTING HEIGHTS OR OTHER LOCATION CRITERIA ARE NOT INDICATED.
 INSTALL ITEMS LEVEL, PLUMB, AND PARALLEL, AND PERPENDICULAR TO OTHER BUILDING SYSTEMS AND COMPONENTS, EXCEPT WHERE OTHERWISE INDICATED.
 INSTALL EQUIPMENT TO FACILITATE SERVICE, MAINTENANCE, AND REPAIR OR REPLACEMENT OF COMPONENTS CONSIDER FOR EASE OF DISCONNECTING, WITH MINIMUM INTERFERENCE WITH OTHER INSTALLATIONS.
 GIVE RIGHT OF WAY TO RACEDWAYS AND PIPING SYSTEMS INSTALLED AT A REDUCED SLOPE.
INSTALLATION
 INSTALL RACES IN RACEDWAY AND CONDUITS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND MEET STANDARDS OF INSTALLATION. HOOKS AT OUTLETS; INSTALL WITH AT LEAST #1 OF BLACK CONDUCTOR AT EACH OUTLET.
 CONNECT OUTLETS AND COMPONENTS TO RACKS SYSTEMS AND TO BRACKS AS INDICATED AND INDICATED BY MANUFACTURER. TIGHTEN CONNECTORS ACCORDING TO TIGHTENING REQUIREMENTS SPECIFIED IN UL 484A.
 INSTALL DEVICES TO SECURELY AND PERMANENTLY FASTEN AND SUPPORT ELECTRICAL COMPONENTS FASTENING UNLESS OTHERWISE INDICATED. SECURELY FASTEN ELECTRICAL ITEMS AND THEIR SUPPORTING HARDWARE TO THE BUILDING STRUCTURE PERFORM FASTENINGS ACCORDING TO MEET AND SELECT FASTENINGS SO THE LOAD APPLIED TO AN FASTENING DOES NOT EXCEED 20 PERCENT FOR THE PROOF TEST LOADS.
GETTING AND PATCHING
 PERFORM GETTING BY SKILLED HIGHWAYS OF THE TRADES INVOLVED.
 REPAIR DISTURBED SURFACES TO MATCH UNDISTURBED SURFACES.
 GFI, CHANNEL, CHASE, AND DRILL FLOORS, WALLS, PARTITIONS, CEILINGS, AND OTHER SURFACES NECESSARY FOR ELECTRICAL INSTALLATIONS.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
S	COMMERCIAL SPECIFICATIONS 20 AMP. GRADE COMMERCIAL GRADE SWITCH COOPER OR EQUAL MODEL 1028-N WITH COMPATIBLE WITH NYLON HALL PLATE.
Ⓢ	COMMERCIAL SPECIFICATIONS 20 AMP. GRADE RECEPTACLE COOPER OR EQUAL MODEL 6030 WITH COMPATIBLE WITH NYLON HALL PLATE.
Ⓢ/1	COMMERCIAL SPECIFICATIONS 20 AMP. GRADE GROUND FAULT CIRCUIT INTERRUPTER COOPER OR EQUAL MODEL N-6720-K WITH COMPATIBLE WITH NYLON HALL PLATE.
Ⓢ/2	4-4-WIRE 240V 2-PHASE RECEPTACLE AND SERVICE GORED FOR RANGE. COORDINATE LOCATION AND TYPE OF RECEPTACLE WITH OTHER PROVIDED RANGE.
Ⓢ/3	CONCENTRATION SMOKE AND CARBON MONOXIDE DETECTOR, FIRST ALERT OR EQUAL MODEL 8450210-A2, INTERCONNECT ALL DEVICES.
A1	LUMINICA OR EQUAL, 30K, SATEN KICKER, FINISH, MODEL PLD0880.
A2	LUMINICA OR EQUAL, 30K, SATEN KICKER, FINISH, MODEL PLD0880.
B	LUMINICA OR EQUAL, 30K, SATEN KICKER, FINISH, MODEL PL4121-BN-24-HCT.
EF-1	PANASONIC OR EQUAL, PWDSPRGRN, MODEL RV-051VCL3.

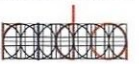


1 REMOVAL ELECTRICAL PLANS
 SCALE: 1/4" = 1'-0"



2 PROPOSED ELECTRICAL PLANS
 SCALE: 1/4" = 1'-0"

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BRDA Architecture, PLLC
 2022 Western Avenue
 Albany, New York 12203
 Tel: 518.713.4537
 Fax: 518.687.0735

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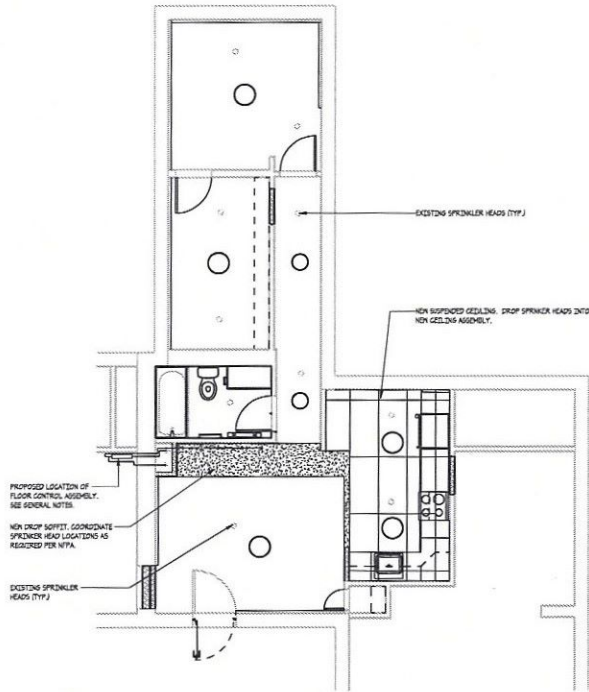
PROJECT:
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 1 EDDY'S LANE
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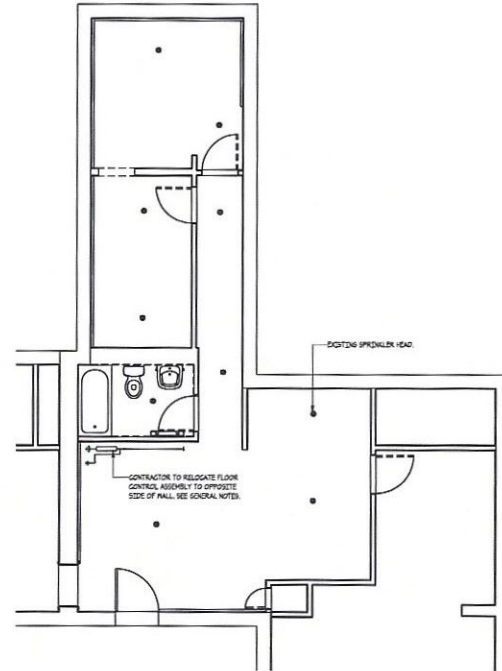
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**REMOVAL &
 PROPOSED FIRE
 PROTECTION
 PLANS**

FP1.1



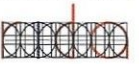
2 PROPOSED APARTMENT FIRE PROTECTION PLAN
 SCALE: 1/4" = 1'-0"



1 REMOVAL APARTMENT FIRE PROTECTION PLAN
 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- THIS IS A DELEGATED DESIGN. SPRINKLER CONTRACTOR IS RESPONSIBLE FOR ALL ENGINEERING SERVICES, TESTING AND ASSOCIATED COST TO MODIFY SPRINKLER SYSTEM TO ACCOMMODATE NON SUPPORTED CEILING SUPPORT, AND TO RELOCATE THE FLOOR CONTROL ASSEMBLY. DRAWINGS ARE EXAMINATIONS ONLY AND REPRESENT GENERAL SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE TO REVIEW GENERAL CONSTRUCTION DRAWINGS, ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND ASSOCIATED SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF CONSTRUCTION.



MEHA Architecture, PLLC
 2022 Western Avenue
 Albany, New York 12203
 Tel 518.733.6337
 Fax 518.647.0735

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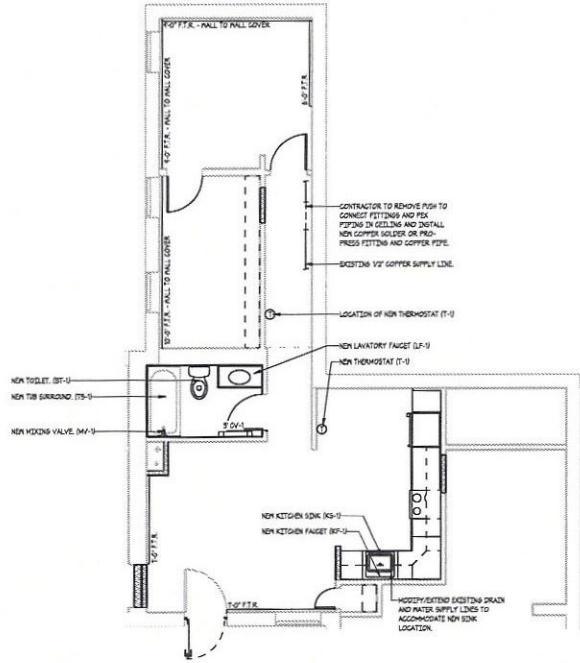
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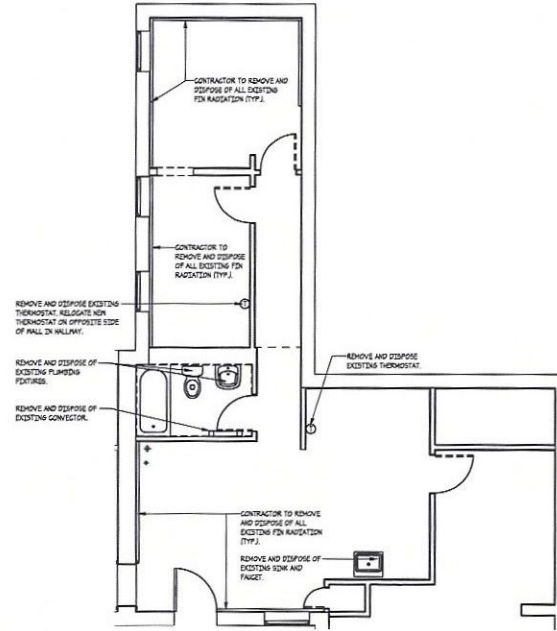
REMOVAL &
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 PLUMBING PLANS

P1.1

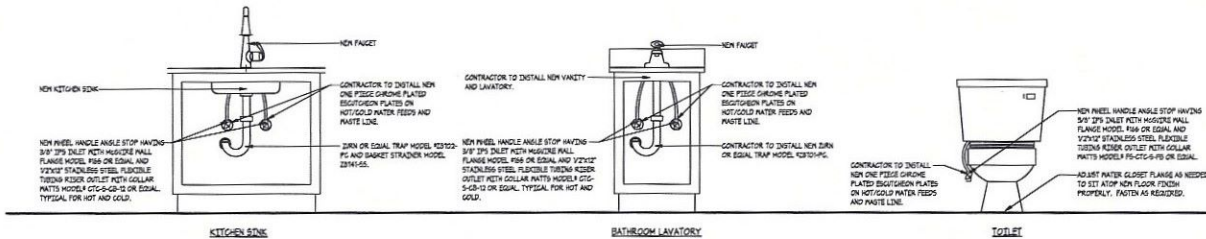
PLUMBING LEGEND	
SYMBOL	DESCRIPTION
KF-1	KITCHEN FAUCET: AMERICAN STANDARD OR EQUAL, COLONY PRO, LESS SPRAYER AND BASKET STRAINER MODEL 23141-66.
KS-1	KITCHEN SINK ASSEMBLY: ELBY OR EQUAL, COLONY PRO 3.5 SINK MODEL #E174222216 WITH DRAIN OR EQUAL, TRAY MODEL #K152-PC AND BASKET STRAINER MODEL 23141-66.
BT-1	TOILET: AMERICAN STANDARD OR EQUAL, CHAMPION PRO RISE-IT HEIGHT ADJUST FRONT TOILET, MODEL #118A-0A.
LF-1	LAVATORY FAUCET: AMERICAN STANDARD OR EQUAL, COLONY PRO SINGLE CONTROL FAUCET MODEL #1075-0A.
MV-1	WASHING VALVE ASSEMBLY: AMERICAN STANDARD OR EQUAL, COLONY PRO SHOWER ONLY MODEL #F233056A WITH KANGARA OR EQUAL, EARTH-HANDLED SHOWER HEAD MODEL #232456.
TS-1	TUB SURROUND: SWANSTONE EQUAL, MODEL 55-40-9, COLOR WHITE.
DV-1	CONVECTOR: BEACON HORIZON OR EQUAL, MODEL #SA-A WITH DAMPER, 18 GA. BAKED POWDER COATED FINISH, #K231-147, 440 BTU.
F7K	FIN TUBE RADIATION: INVENTON OR EQUAL, MODEL #MS-2, 18 GA. BAKED POWDER COATED FINISH, #40 BTU/FT. LENGTHS AS NOTED ON DRAWINGS, SEE S.P.11.
T-1	THERMOSTAT: HONEYWELL OR EQUAL, MODEL #RTH22222222, ONE WEEK PROGRAMMABLE THERMOSTAT.



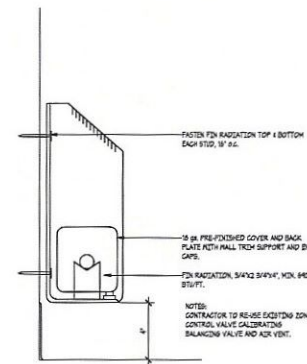
2 PROPOSED APARTMENT HEATING PLAN
 P1.1 SCALE: 1/4" = 1'-0"



1 REMOVAL APARTMENT HEATING PLAN
 P1.1 SCALE: 1/4" = 1'-0"



4 PLUMBING DETAIL
 P1.1 SCALE: 1/2" = 1'-0"



3 FIN RADIATION DETAIL
 P1.1 SCALE: 3/4" = 1'-0"